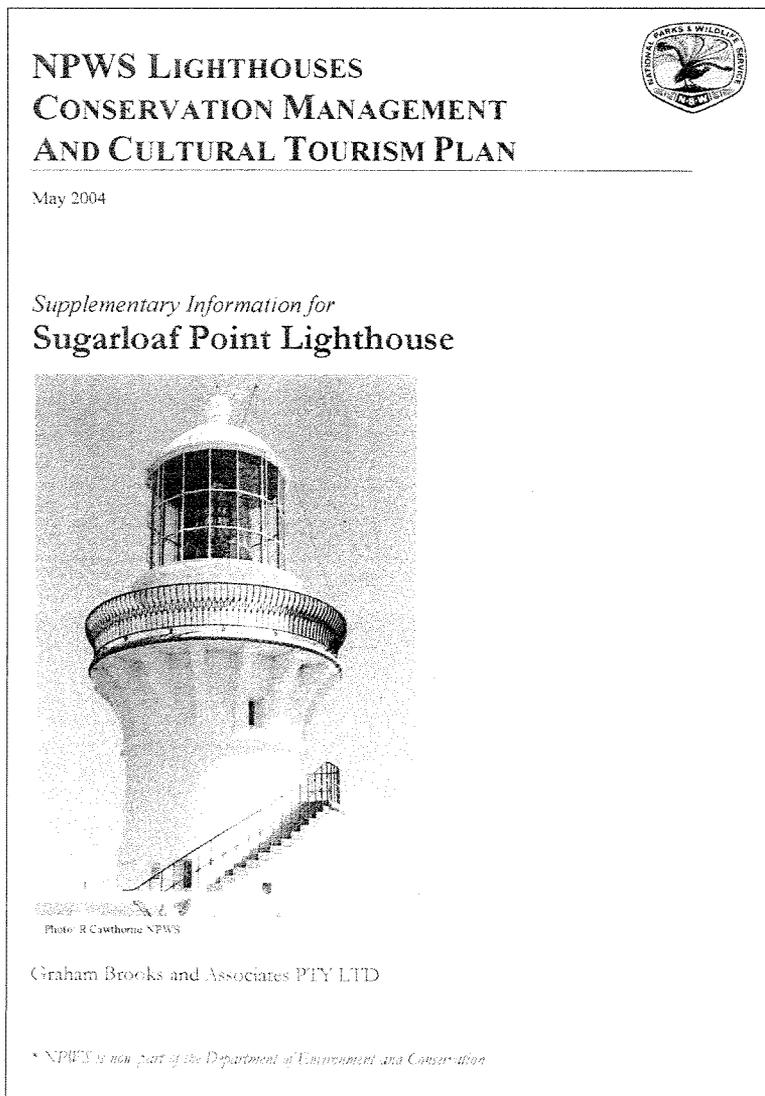


Addendum to Conservation Management Plan

suters

NSW National Parks and Wildlife Service
Lighthouse Group Precinct
Sugarloaf Point
Seal Rocks, NSW



Contacts

For further information or clarification of information contained within this document please contact the following:

Edward Clode - Director
Registered Architect - NSW ARBN 4100
Email: e.clode@sutersarchitects.com.au

Mark Fenwick – Senior Associate
Email: m.fenwick@sutersarchitects.com.au

Suters Architects Pty Ltd
16 Telford Street, Newcastle NSW 2300,
PO Box 1109 Newcastle NSW 2300
DX 7933 Newcastle NSW
T 02 4926 5222 - F 02 4926 5251
Managing Director Robert Macindoe - NSW ARBN 4699
www.sutersarchitects.com.au

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|-------|-------------|----------|-------|------------|
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| B | Final | 11.03.05 | mpf | |
| C | Final | 18.04.05 | mpf | |

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Acknowledgements

This Addendum was prepared and completed with assistance from NPWS Cultural Heritage Division, Hurstville, NPWS Great Lakes Staff and Seal Rocks Ranger, Hunter Region.

References are made in this addendum to

- “Conservation Management and Cultural Tourism Plan
NSW National Parks and Wildlife Services – NPWS Lighthouses”
Draft January 1999
Prepared by Graham Brooks and Associates Pty Ltd and others.
- “Sugarloaf Point Lightstation Conservation Management Plan, May 1995”
Prepared by Clive Lucas, Stapleton and Partners Pty Ltd
for the Australian Maritime Safety Authority
- “NPWS Lighthouses – Conservation Management and Cultural Tourism Plan, May 2004”
being supplementary information for Sugarloaf Point Lighthouse
Prepared by Graham Brooks and Associates Pty Ltd

All documents can be viewed at the NPWS offices, Great Lakes Area.

Disclaimer

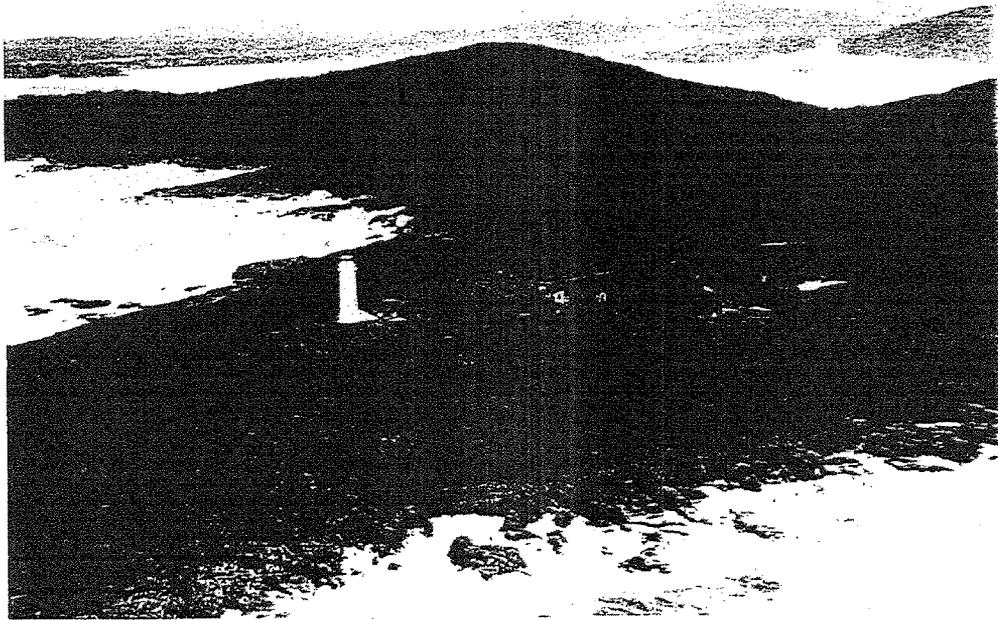
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DRAFT
JANUARY 1999

CONSERVATION MANAGEMENT AND CULTURAL TOURISM PLAN VOLUME ONE

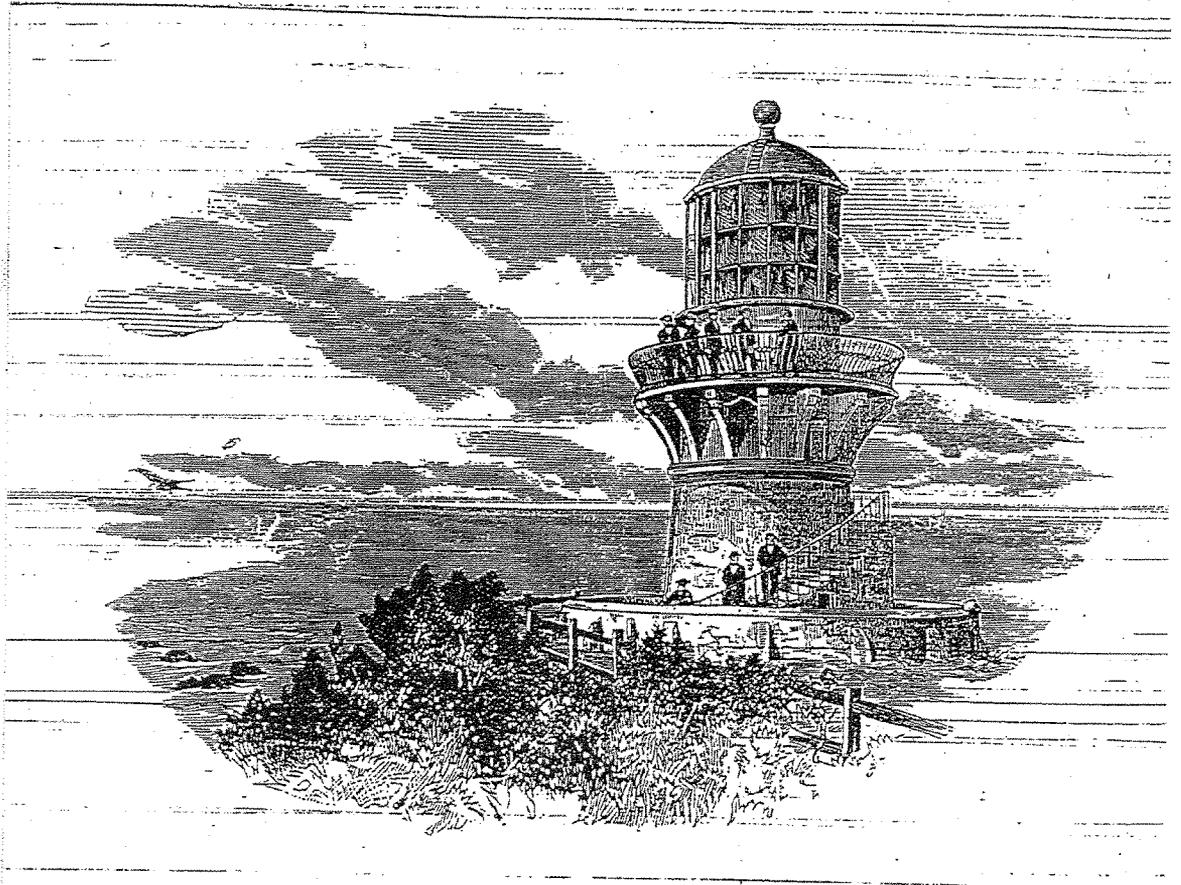


NSW NATIONAL PARKS AND WILDLIFE SERVICE

NPWS Lighthouses

GRAHAM BROOKS AND ASSOCIATES PTY LTD
D M TAYLOR LANDSCAPE ARCHITECTS PTY LTD
MITCHELL NETHERY HERITAGE PRESENTATION
MARY DALLAS CONSULTING ARCHAEOLOGISTS
IMAGINVEST TOURISM CONSULTANTS

AUSTRALIAN MARITIME SAFETY AUTHORITY



SUGARLOAF POINT LIGHTSTATION CONSERVATION MANAGEMENT PLAN

May, 1995

CLIVE LUCAS, STAPLETON AND PARTNERS PTY. LTD.



NPWS LIGHTHOUSES CONSERVATION MANAGEMENT AND CULTURAL TOURISM PLAN

May 2004

Supplementary Information for **Sugarloaf Point Lighthouse**

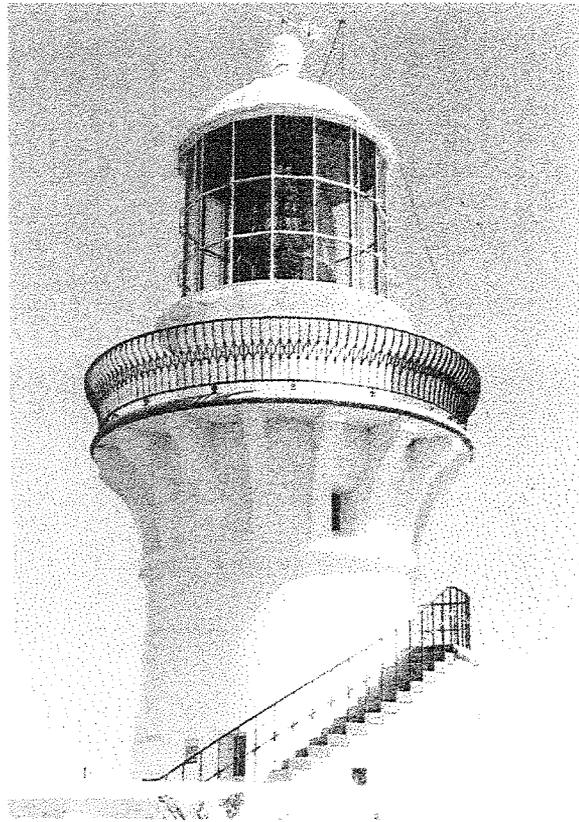


Photo: R Cawthorne NPWS

Graham Brooks and Associates PTY LTD

** NPWS is now part of the Department of Environment and Conservation*

1 Introduction

The NPWS Parks Service Division, Great Lakes Area have requested Suters Architects to review the 'NPWS Lighthouses Conservation Management and Cultural Tourism Plan' May 2004, being Supplementary Information for Sugarloaf Point Lighthouse, prepared by Graham Brooks and Associates with input from NPWS staff.

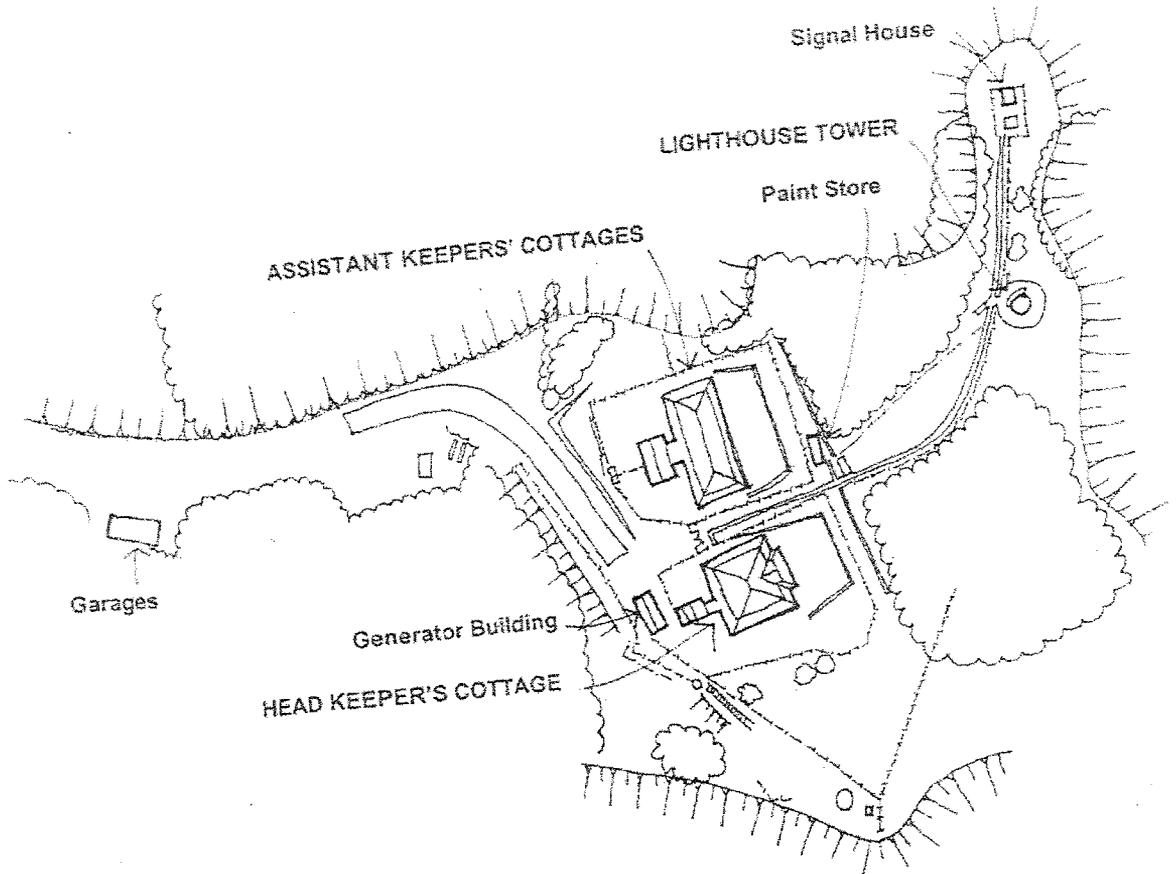
The original document, in two volumes, was prepared by Graham Brooks and Associates and a team of secondary consultants. It is an extensive document covering issues of significance, constraints, opportunities, conservation policies, implementation and interpretation. The supplementary information in Part H of that plan dealt with other NPWS managed sites:

- Cape Byron Lighthouse
- South Solitary Island Lighthouse
- Smoky Cape Lighthouse
- Point Stephens Lighthouse
- Barrenjoey Lighthouse
- Hornby Lighthouse and Inner South Head Cottages
- Cap Bailey Lighthouse
- Montague Island Lighthouse
- Green Cape Lighthouse

Since the preparation of that Plan, Sugarloaf Point Lighthouse, Seal Rocks has been added to the group, hence the need for a supplement. Throughout the Plan an emphasis is placed on managing the whole group and maintaining the consistency and character across the whole group, being an attribute that contributes to the heritage significance of the group and each individual place.

1.1 Precinct

The following diagram "Beacon of Light Zone, 2000" NTS, prepared by Graham Brooks and Associates was included in the draft Supplement. It describes the precinct to which the supplement refers.



SUGARLOAF POINT LIGHTHOUSE
BEACON OF LIGHT ZONE, 2000
Not to Scale
Graham Brocks and Associates Pty. Ltd.



1.2 Authorship

This addendum was prepared by
Mark Fenwick, Senior Associate
Suters Architects, January 2005.

1.3 Limitations

Suters Architects were not instructed to review or revise the whole Supplementary Information Report. Suters Architects were requested to prepare an Addendum revising sections 2.5, 4.0 and 5.0 (5.4 and 5.7) of the draft Supplement to the endorsed CMP. These sections relate to the grading of fabric for levels of significance and management policies, particular with regard to future adaptive new uses.

It is intended that this will guide the formation of policy for potential future works rather than prescribe policy detail.

Suters Architects reviewed only the relevant portions of the earlier Plans and Policies (referred to in Acknowledgements). Although several site inspections have been carried out and Suters Architects are very familiar with the site and the buildings, the Addendum was prepared using a 'desk-top' process without input from secondary consultants.

1.4 Supplement Structure

The existing Supplement refers to excerpts from previous CMP documents. These should be included in Annexure A.

It is also suggested that the Supplement be rearranged to move all drawings and drawn figures to Annexure B.

The overall Supplement contents page could be extended as follows:

Annexure A Excerpts from 'Sugarloaf Point Lightstation Conservation Management Plan', Draft October 1994, prepared by Clive Lucas, Stapleton and Partners for AMSA.

Annexure B Figure and Drawings

List of Figures

- Figure 1 Location Plan (Topographic Map Extract)
- Figure 2 Coastal Edge Zone (DM Taylor)
- Figure 3 Headland Zone (DM Taylor)
- Figure 4 Land Title, Sugarloaf Point (AMSA)
- Figure 5 Beacon of Light Zone (Graham Brooks & Assoc.)
- Figure 6 Floor Plans (AMSA 1994)
- Figure 7 Original Construction Drawings for Quarters (AMSA)
- Figure 8 Keepers Quarters Drawing (AMSA)
- Figure 9 New Stable, Oil and Paint Stores, 1901 (AMSA drawing)
- Figure 10 Head Keeper's Quarters Plan as Existing (Suters Architects, 2004)
- Figure 11 Assistant Keepers Quarters. Plan as Existing (Suters Architects, 2004)

2 Addendum Follows

- 2.5 Grading Elements for Significance
- 4.0 Conservation Policies
- 5.0 Site Specific Conservation Policy and Implementation

Suters Architects

A handwritten signature in black ink that reads "Mark Fenwick". The signature is written in a cursive, slightly slanted style.

M P Fenwick
Senior Associate
Email m.fenwick@sutersarchitects.com.au

2.5 GRADING ELEMENTS FOR SIGNIFICANCE

Grading the comparative significance of various elements or characteristics of historical places or buildings is a useful management tool with which to assess the future programs of detailed fabric or artefact conservation, new use proposals or the impact of any proposed changes to fabric.

The Conservation Management Plan for Sugarloaf Point Lightstation, prepared by Clive Lucas, Stapleton and Partners for AMSA, finalised in May 1995 provided a very detailed assessment and ranking (grading) of significance methodology for archaeology, landform, vegetation, the exterior and the interior of principal building, then tabulating the ranking against implementation policy (Intervention and Development Guidelines).

Refer to Annexure A: Exerts from 'Sugarloaf Point Lightstation Conservation Management Plan', Draft October 1994, prepared by Clive Lucas, Stapleton and Partners for AMSA.

- Section 2.0 Significance Analysis
 - 2.2 Physical Evidence
 - 2.3 Analysis of Physical and Documentary Evidence
 - 2.4 Discussion of Cultural Significance

- Section 3.0 Statement of Cultural Significance
 - 3.1 Definitions
 - 3.2 Primary Significance
 - 3.3 Secondary Significance
 - 3.4 Ranked Zones of Significance

- Section 4.0 Constraints and Opportunities
 - Page 86-113

Note Figure 3.7 showing Ranked Zones of Significance for Archaeology in the Lighthouse Precinct. This diagram can be read in conjunction with Section 8.7 'Historical Archaeological Resources' of the Main CM&CT Plan. The site has the potential to yield information related to initial construction activities or early occupancy, through surviving archaeological material.

A consultant archaeologist, independent of this Supplement is preparing an Archaeology Management Plan that will further refine assessment significance and management policy.

This supplement to the Main CM&CT Plan endeavours to acknowledge the value of this previous analysis, while simplifying the grading of significance for various elements.

The following modified grading of heritage significance has been adopted for the Sugarloaf Point group of buildings:

GRADING

| | | |
|---|------------------|---|
| 1 | Exceptional | Relating to the initial design, construction and operation of the Lighthouse and associated buildings. Primary Significance. |
| 2 | High | |
| 3 | Moderate | Relating to subsequent use, modifications and development of the precinct as an operational Lighthouse. Contributory Significance. |
| 4 | Low | |
| 5 | Little (or none) | Relating to modifications, evolutionary developments and recent changes in use |
| 6 | Intrusive | Detracting from the clear interpretation of the place and group of buildings as " <i>...an intact exemplary example of a mid Victorian lightstation of great aesthetic appeal due to its architecture and setting...</i> " CLS and Partners, AMSA CMP Executive Summary. Has potential to damage elements of significance |

Due to the high level of regular maintenance and low level or rate of evolutionary change, including the construction of additional structures, the buildings are in good condition, considering their age and the aggressive marine environment. These high levels of intactness, integrity and condition contribute to the significance grading of various elements.

EXCEPTIONAL SIGNIFICANCE

Including but not limited to pre-existing topographical and landscape characteristics, initial cultural landscape features and sites of Aboriginal cultural significance.

Landscape

- Lighthouse Beach
- The land and rock formations that are the Seal Rocks Blowhole
- Sugarloaf Point Cliffs
- The Seal Rocks (seaward rock formation).

Buildings

- Lighthouse Tower, exterior and interior
- Signal House/Flag locker building

Building Interiors (Building's graded significance noted elsewhere)

- The original entry of the Head Keepers Quarters if reconstructed
- The central corridor and main sitting room of the Head Keeper's Quarters
- The open verandahs of the Head Keeper's Quarters, and enclosed portion, if reconstructed
- The main hallway, sitting rooms and open verandahs of the Assistant Keepers' Residences, and enclosed portions of the verandahs, if reconstructed.

HIGH SIGNIFICANCE

Including but not limited to pre-existing topographical and landscape characteristics, initial cultural landscape features and sites of Aboriginal cultural significance.

Landscape

- The headland area south of Head Keeper's Quarters (not including the fences)
- Curtilage: views from and views to the lighthouse tower and group of buildings

Buildings

- Head Keeper's Quarters and original kitchen building
- Assistant Keeper's Quarters, original kitchens building and privies
- Retaining walls behind residences

Building Interiors (Building's graded significance noted elsewhere)

- Lighthouse Tower, first floor area and lower lantern space
- The four bedrooms, pantry spaces, covered space at the external steps (to former kitchen) of the Head Keeper's Quarters
- The bedrooms, covered space at the external steps (to former kitchen) and the privies of the Assistant Keeper's Residences
- The interior of the Signal House/Flag Locker

MODERATE SIGNIFICANCE

Archaeology

- Site of original construction camp
- Site of possible privy adjacent to and north of the lighthouse tower
- Site of former stables (garages over)
- The precinct generally extending just past the fences, retaining walls and drop-offs bounding the yards of the Head Keeper's and Assistant Keeper's Quarters

Landscape

- The driveway precinct, at the garages and across the south western yards of the residences

Buildings

- Generator building
- Paint store
- Garage

Building Interiors

- Existing laundry/store (former kitchen) and existing internal bathroom of Head Keeper's Quarters
- Enclosed former southern entry to Head Keeper's Quarters
- Enclosed verandah and WC of Head Keeper's Quarters
- Existing laundry/store and existing internal bathroom of both Assistant Keeper's Quarters

LOW SIGNIFICANCE

- Buildings and site features that singularly may have low significance may have higher significance in context as unifying elements, contributing to a cohesive group or precinct. eg. fences.

Buildings

- Nil

Interiors

- Northern sun room (enclosed verandah, former internal kitchen modification) of Head Keepers' Quarters
- Western sleepout/passage and existing kitchen (enclosed verandah) of Assistant Keepers' Quarters

LITTLE SIGNIFICANCE (OR NONE)

Building Interiors

- Gauze screen enclosure of north verandah of Assistant Keepers' Quarters
- BBQ and benches north of Assistant Keepers' Quarters (outside fenceline)
- Insitu artworks and thematic embellishments.

INTRUSIVE

- Ramp and rails adjacent to privies, Assistant Keepers' Quarters
- Lattice to Head Keeper's Quarters verandah
- Powerpole close and adjacent to enclosed verandah wall of Assistant Keepers' Quarters
- Rain water tank stand adjacent to enclosed verandah of wall of Assistant Keepers' Quarters
- Suspended PVC stormwater drainage pipes, north east side of Head Keeper's Quarters
- Weed growth/cacti
- TV antenna
- Irrelevant signs
- Metal supports at the base of verandah posts
- Contemporary rainwater goods
- External, surface run, high level piping/conduits
- Internal HWU and plumbing
- Inclinator
- Enclosure of windows
- Inappropriate light fittings
- Some inappropriate paint colours (interior)

In preparing this revision of Section 2.5 'Grading Elements of Significance' substantial references were made to the draft 2.5 'Elements of Primary and Contributory Significance' prepared by Graham Brooks and Associates (2004).

The specific grading of heritage significance attributed to various elements are based upon and derived from the CMP prepared by Clive Lucas, Stapleton and Partners for AMSA, 1994 (finalised May 1995).

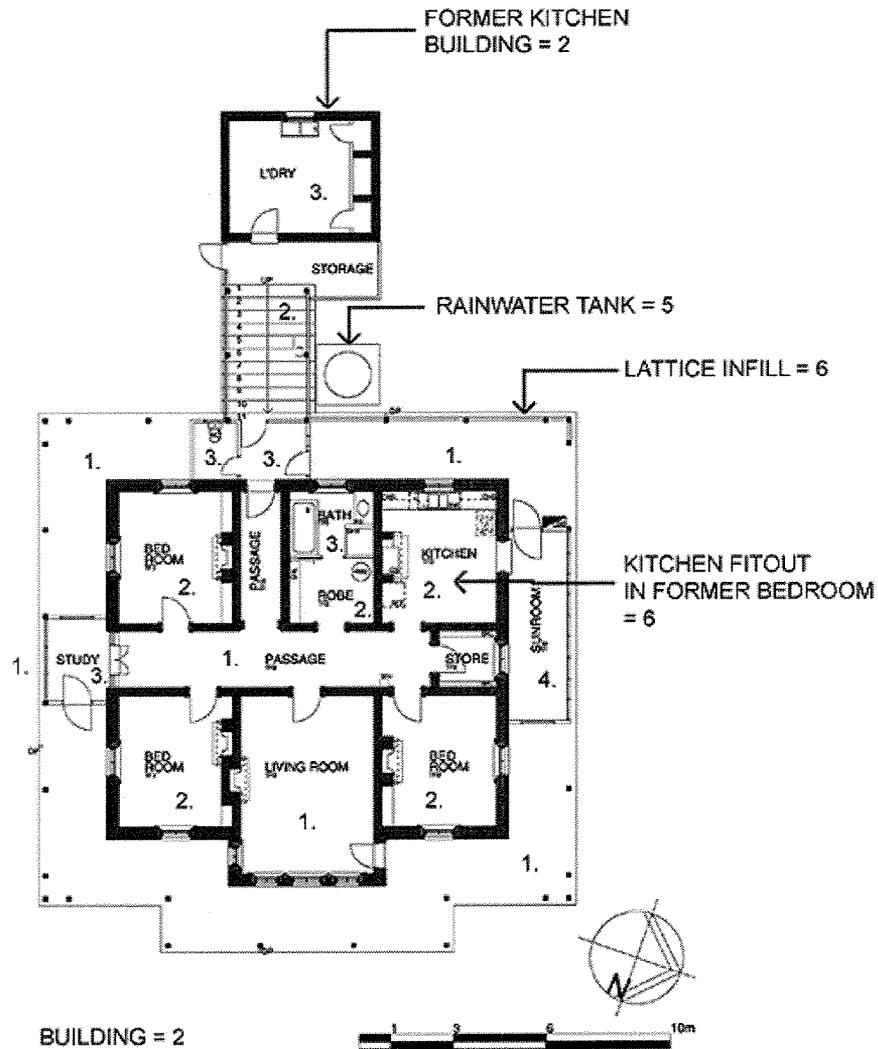


FIGURE 10
HEAD KEEPER'S QUARTERS
FLOOR PLAN AS EXISTING
 (SUTERS ARCHITECTS, 2004)

REFER TO SECTION 2.5
 'GRADING ELEMENTS FOR SIGNIFICANCE'

GRADING OF SIGNIFICANCE

- 1 Exceptional
- 2 High
- 3 Moderate
- 4 Low
- 5 Little (or None)
- 6 Intrusive

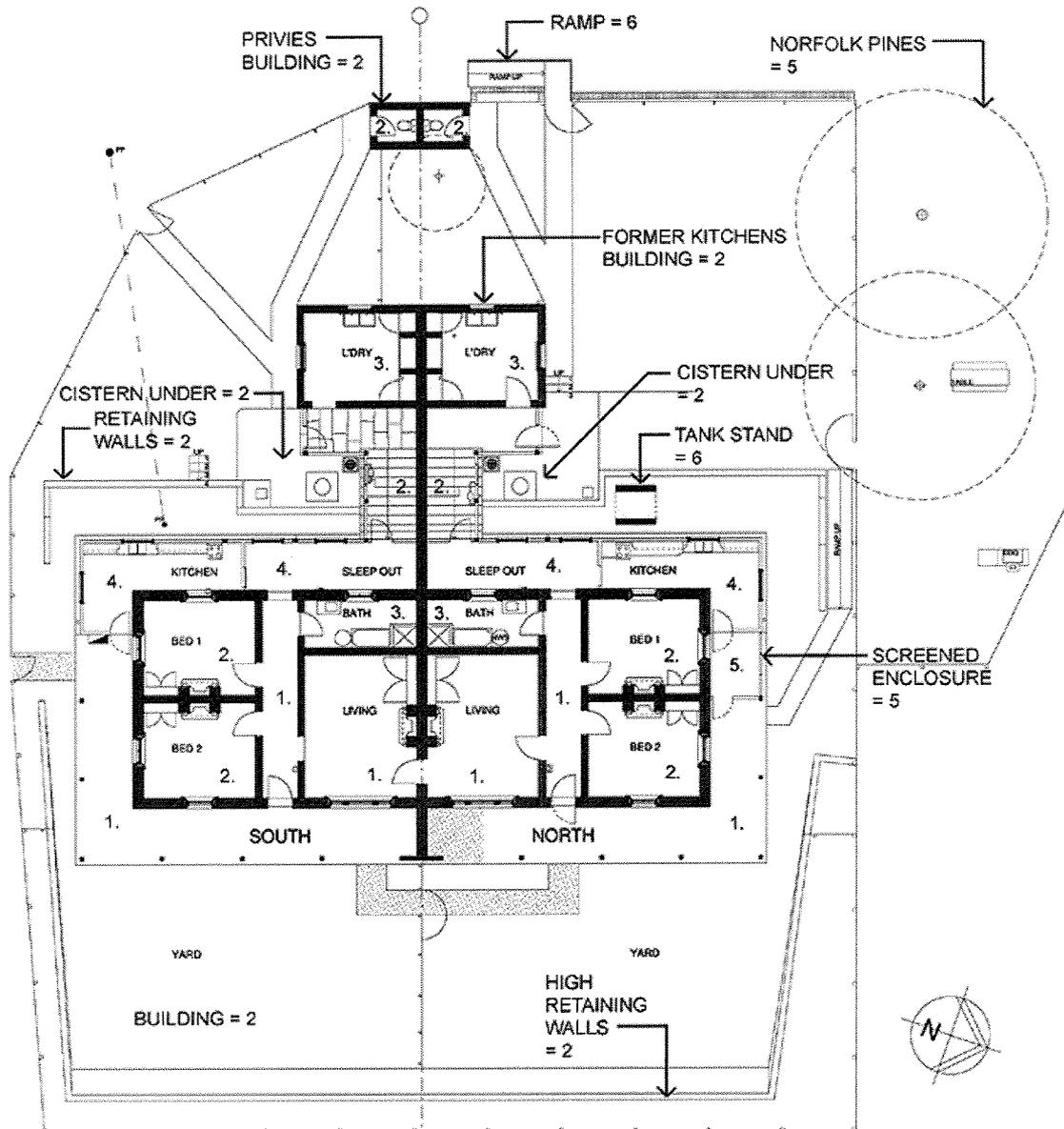


FIGURE 11
ASSISTANT KEEPERS' QUARTERS
FLOOR PLAN AS EXISTING
 (SUTERS ARCHITECTS, 2004)

REFER TO SECTION 2.5
 "GRADING ELEMENTS FOR SIGNIFICANCE"

GRADING OF SIGNIFICANCE

- 1 Exceptional
- 2 High
- 3 Moderate
- 4 Low
- 5 Little (or None)
- 6 Intrusive

4 CONSERVATION POLICIES

4.1 NPWS LIGHTHOUSES CONSERVATION MANAGEMENT AND CULTURAL TOURISM PLAN

The main CM&CT Plan, Part D 'Conservation Policies for the Collective Resource' outlines management policies and discusses operational management, indigenous heritage significance, landscape conservation, historical archaeology (Compliance with the NSW Heritage Act), site development guidelines, adaptive re-use, interpretation plans and cultural tourism policies.

This CMP is a supplement to that document.

4.2 PRIMARY CONSERVATION POLICIES FOR THE SUGARLOAF POINT LIGHTHOUSE GROUP

The following primary policies establish the essential conservation framework for the Sugarloaf Point Lighthouse.

- The buildings and site elements shall be conserved by the implementation and long-term continuation of a rigorous, cyclical and appropriate maintenance regime.
 - A Maintenance Plan, specific to the site, shall be prepared and implemented. Issues of water ingress, extreme deterioration of significant elements and reasonable safety are to be attended to immediately.
 - This maintenance regime shall seek to maintain the buildings and site elements in a character and condition that equates to the time when the complex was an operating lighthouse facility, with a full time staff.
 - NPWS shall conserve and manage the immediate site and setting as a modified natural landscape with important cultural landscape characteristics that clearly illustrate the development and occupation of the precinct as an operational lighthouse complex, from 1875 until the mid 1990s. The potential for archaeological resources shall be assessed and qualified by an Archaeological Management Plan, addressing zones of significance and applying diligent archaeological processes. There shall also be recognition of the other layers of cultural history on the headland, including public recreation.
 - NPWS shall conserve and manage the wider Sugarloaf Point as a modified natural landscape with cultural landscape features that illustrate the layers of human occupation and settlement, including that by Aboriginal people.
 - NPWS shall conserve and manage the Aboriginal heritage characteristics of the Headland in consultation with the relevant representatives of the local Aboriginal communities and applying diligent archaeological process.
 - NPWS shall conserve and manage the complex and its setting in a manner that communicates and interprets the multi-layered nature of its cultural and natural significance to the general public.
 - NPWS shall facilitate the on-going lease of the lighthouse tower and generator shed by AMSA as an operational navigation aid, within the framework of the *Heads of Agreement* between AMSA and the State of NSW.
 - NPWS shall conserve and manage the complex by means of adapting the former cottages and support buildings to new uses which are to be identified in a future site specific Interpretation and Tourism Plan. These uses are to be compatible with the evolved architectural and spatial characteristics and the cultural significance of the building or space.
- The Sugarloaf Point Lighthouse shall be retained and managed by NPWS as a key-contributing component of the overall NPWS Lighthouse Collection.
 - The Conservation Policies and Implementation Guidelines contained in the overall Conservation Management and Cultural Tourism Plan shall be applied, as appropriate, to the Sugarloaf Point Lighthouse.
 - NPWS shall conserve and manage the lighthouse complex as a collection of fine historic buildings and supporting site features that clearly express its original functional role and its role which has gradually evolved since initial construction, in response to progressively developed coastal navigation technology and organisational practices. Recognition and respect for the evolving development of the complex from 1875 until the mid 1990's shall form a key basis for conservation and management of the buildings, the technology, artefacts, archaeological sites and infrastructure. Conservation of the Sugarloaf Point Lighthouse shall protect, respect and where appropriate enhance the identified and interrelated characteristics of cultural and natural significance of the place.
 - The Conservation of the precinct shall be planned, managed and implemented with respect to site specific significance, site considerations AND as a component of a larger state, national and international network of late 19th and early 20th Century Lighthouses.
 - All essential and outstanding catch-up repair and conservation works to the buildings and site elements shall be undertaken as a high priority.

- NPWS shall continue to conserve and manage the complex in the context of Sugarloaf Point being a popular destination and lookout venue. Adaptation of the cottages and ancillary buildings shall be in accordance with approved uses and associated with site management, interpretation and cultural tourism.
- Initially, NPWS shall utilise the Head Keeper's Cottage for site administration and caretaker accommodation. The Head Keeper's Cottage shall accommodate a caretaker in order to maintain an appropriate level of site security and complete necessary maintenance works. If this cannot be achieved any alternative shall achieve an equivalent level of site security without compromising the site and buildings. Security shall take into account these Conservation Policies.
- In the immediate future, the NPWS shall utilise the Assistant Keepers' Cottages as accommodation and meetings venue for NPWS representatives only. During this period, efforts will be made to commence works to upgrade the Assistant Keepers' Cottage for use as short-term equitable holiday accommodation available to the public.
- There shall be no new permanent buildings erected within the immediate Lighthouse precinct.
- The design and positioning of any future navigational equipment, communication towers or energy source infrastructure shall be carefully considered to avoid or minimise any adverse impact on the heritage or visual characteristics of the overall lighthouse precinct. The heritage significance of this site's curtilage is to be conserved.
- New NPWS radio equipment, antennae and other communication masts and dishes are to be located with AMSA equipment or in discrete location of low visual impact on the precinct.
- Television aerials for caretakers, tenants, etc are to be located in positions of low visual impact.
- NPWS shall limit the number of vehicles that are permitted to park in the immediate precinct of the Lighthouse cottages to one for the caretaker and one for the caretaker's visitor (short term). Three other vehicles can be accommodated within the existing garages (subject to maintenance works completion). Parking on roadways shall not be permitted. The visual amenity and character of the driveway precinct to be protected.
- NPWS shall conserve and manage the Sugarloaf Point Lighthouse in full recognition of the heritage and environmental management provisions of the relevant aims, objectives, standards and procedures of the Australian Heritage Commission, NSW Heritage Council, NSW EP&A Act, Regional and Local Environmental Plans, the National Trust of Australia (NSW), NPWS and good conservation practice as promoted by Australia ICOMOS and the Burra Charter.

- NPWS shall co-ordinate the marketing and promotion of interpretation and cultural tourism activities at the Sugarloaf Point Lighthouse; consistent with the overall NPWS Lighthouses Collective Resources.

In preparing this section, 4.2 as a revision, the draft Section 4.0 'Primary Conservation Policies for the Sugarloaf Point Lighthouse' prepared by Graham Brooks and Associates was modified and adopted.

4.3 INTERPRETATION

Registration on the Register of the National Estate (RNE 001467) provides the following statement of significance.

"The Sugarloaf Lighthouse group is historically and architecturally significant, being colonial architect James Barnet's first major lighthouse design, to be followed by many in subsequent decades. The design of the tower is unusual, being only one of two (with Hornby Light) lighthouses in Australia with external spiral stair access. The group is particularly visually pleasing due to its dramatic siting".

CLS&P – CMP Page 1

"It consists of an architecturally accomplished and aesthetically outstanding lighthouse complete with original main and auxiliary optics together with substantial relatively intact mid Victorian Quarters buildings, all set in a location of outstanding aesthetic appeal".

Cultural Significance – Executive Summary, CLS&P - CMP

"The place should be interpreted as: An intact exemplary example of a mid Victorian NSW Lightstation of great aesthetic appeal due to its architecture and setting".

Interpretation – Executive Summary, CLS&P - CMP

The technology, buildings and site infrastructure of the Sugarloaf Point group display fabric and components that are original 1874 and developments from the late Victorian, Edwardian, early 20th Century and late 20th Century periods.

Original technology required three keepers. Travel distances and isolation meant that supplies were stored in bulk. The 19th Century kitchen was separate and bathing was conducted near the source of hot water. Bedrooms and sitting rooms had working fireplaces.

The changing expectations for housing in Australia during the 20th Century were shared by Lighthouse Keepers and their families. The required proximity of a kitchen and dining space to living areas changed, supplies were delivered in smaller quantities more often and storerooms became bathrooms, verandahs were enclosed.

Changing technology, introduction of electricity and the eventual automation of the lighthouse all influence the recent history of this lightstation. Redundancy and conservation require new viable uses to be implemented for the Sugarloaf Point buildings. The new uses are to contribute to the successful interpretation of the site's story, its history and slow evolution over 130 years.

4.4 NEW USES

The adaptive re-use (private accommodation to lettable accommodation, ie public use in this case) of buildings and places of cultural significance promotes the conservation of these places through their occupation, maintenance and increased security. This is particularly relevant to the Sugarloaf Point Lighthouse group given the aggressive marine environment and its relative isolation.

Often the new uses are expected to off-set the financial liability of owning and managing a place of high cultural significance. New, viable uses for these buildings are to be compatible with presenting an interpretation of the many layers of significance for the precinct.

The 'NPWS Lighthouses – Draft Conservation Management and Cultural Tourism Plan', January 1999, prepared by Graham Brooks & Associates discusses 'Adapting to a New Future' as follows:

"The key conservation philosophy is therefore to enable the complexes to continue to evolve in a manner which has little impact on their heritage significance or the characteristics of their landscaped settings. This evolution will take the form of adaptive re-use in the context of making the significance of the places accessible to the general public and tourists visiting the local region. The development of such a new direction is now becoming the norm for the ever increasing number of redundant lighthouses around the world.

This conservation philosophy is in marked contrast to the majority of the recommendations contained in the original AMSA Conservation Plans. They focussed on fabric conservation and returning the complexes to some previous architectural imagery, usually pre 1951. This approach was formulated before any future ownership or use framework had been determined. Now that NPWS is the managing and conservation agency, a new direction is required, one that fits with NPWS corporate objectives and the opportunities that responsibly present themselves.

Extract Page 4 – Executive Summary

Given the residential history of the Keeper's Quarters and Assistant Keepers' Quarters (duplex), the character and scale of the spaces in and around these buildings, new short stay residential use is a preferred outcome.

Other uses could include NPWS office and interpretation displays, small conference facilities, visitor facilities and caretaker/operator accommodation. Other secondary buildings may support minor retail uses.

The main CM&CT Plan discusses "Make the Significance Accessible to the Public" as follows:

- *"One of the primary components of the conservation management of the NPWS Lighthouses shall be to make the significance of individual Lighthouses and of the collective resource physically, intellectually and/or emotively accessible to the general public. These different forms of accessibility shall be managed in a manner which protects and enhances the complex and layered nature of their cultural significance.*
- *The Service shall undertake conservation management of the Lighthouses in the context of compatible re-use and of certain on-going operational maritime safety activities. Compatible re-use shall recognise the evolutionary development of the lighthouse complexes and be regarded as an essential part of protecting the layered significance and making it accessible to the general public.*
- *Compatible re-use shall be undertaken in the context of adapting the Lighthouse complexes and their cultural landscape settings to new directions. Adaption shall protect the cultural significance and be undertaken in a low key, evolutionary manner, consistent with the traditional way in which the complexes have evolved over the past century or so."*

Extract Page 7 – Executive Summary

This supplement to the CM&CT Plan acknowledges the evolutionary development of the lighthouse complex and considers the new uses as the next evolutionary stage. Protecting the overall character and original fabric will be the primary objective of any future re-use proposals.

5 SITE SPECIFIC CONSERVATION POLICY AND IMPLEMENTATION

5.1 REFERENCE TO MAIN CM&CT PLAN

5.2 ABORIGINAL HERITAGE

Conservation Policy Implementation:

- Short Term
- Medium Term
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.3 LANDSCAPE CONSERVATION

Conservation Policy Implementation:

- Short Term
- Medium Term
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

Signs

- Increased visitation, new uses, changes to levels of access, new fences and gates etc should not generate an increase in sign numbers within the precinct, particularly in close proximity to the buildings.

Fences and Barriers

- Give NPWS management policies and a general concern for the safety of visitors at a place that is characterised by steep climbs, drop-offs and cliffs in close proximity to the buildings, it is inevitable that new and additional fences will be required on the site.
- Areas identified as risk areas include, but are not limited to, the open grassed area of the headland below the Head Keeper's Quarters; the existing BBQ Area overlooking the blowhole adjacent to the Assistant Keepers' Quarters and the edge opposite the garage doors along the driveway.
- Where evidence exists that fences have existed as part of the original and developed lighthouse group of buildings then, where possible, a fence should be maintained in its original position replacing materials, profiles and colour, like for like, painted or unpainted, picket or paling fences should not be constructed where no evidence exists that they have previously been erected. New styles of fences at new heights should not be erected where original timber fences have stood.
- New fences intended to improve staff and visitor safety shall be of a material selection, profile, construction and colour to promote low visual impact within the curtilage of the Lighthouse Group precinct, particularly when viewed from the beaches and driveways.

- New fences should reflect existing character but not replicate it. The height, strength and construction of new fences shall be appropriate to the assessed risk and likely imposed loads.
- Material selection shall also be based on durability and resistance to corrosion. Dissimilar metals are not to be co-located. Horizontal surfaces should be avoided to minimise salt and moisture build-up.
- A visitor should be able to interpret what fences are recently introduced and what fences are more original and associated with the buildings.
- New fences should be avoided whenever possible.

Access and Walking Trails

- The roadway (two coat seal bitumen surface) to be repaired to enhance safety and prevent further deterioration.
- If required, new walking trails from the driveway and bottom carpark, to the Lighthouse Group of buildings or down to the beaches shall be located with consideration to the curtilage of the precinct, to avoid potential erosion, to respect places of indigenous significance and to promote the enhancement of areas of landscape or topographic significance.
- The existing pathways to the Light Tower and Signal House to be maintained in their existing condition for continued public access.
- If new paths and platform are to be introduced to the precinct, materials and design detail should ensure that visitors interpret these to be introduced elements. Such additions to be of low visual impact within the area of the precinct or its curtilage.

5.4 BUILT ENVIRONMENT CONSERVATION POLICY IMPLEMENTATION

Conservation Policy Implementation:

- Short Term (Zoning Plan)
- Medium Term
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.5 HISTORICAL ARCHAEOLOGY POLICY IMPLEMENTATION

Conservation Policy Implementation:

- Short Term
- Medium Term
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.6 LIGHTHOUSE PRECINCT CONSERVATION POLICY IMPLEMENTATION

Conservation Policy Implementation:

- Short Term
- Medium Term
- Long Term (Avoid new buildings)

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.7 BUILDING ADAPTION POLICY IMPLEMENTATION (NOTE SECTION 5.10 GUIDELINES AND SECTION 4.4 NEW USES)

Conservation Policy Implementation:

- Short Term
- Medium Term (Interpretation)
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.8 INTERPRETATION PLANNING IMPLEMENTATION

Conservation Policy Implementation:

- Short Term (Commissions Plan)
- Medium Term
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.9 CULTURAL TOURISM POLICY IMPLEMENTATION

Conservation Policy Implementation:

- Short Term
- Medium Term
- Long Term

Refer to CM&CT Plan Supplement for Sugarloaf Point

5.10 ADAPTION GUIDELINES GENERALLY (REFER TO SECTION 5.7 SUPPLEMENT FOR POLICY AND SECTION 20.1 CM&CT PLAN)

ADAPTION IMPLEMENTATION GUIDELINES GENERALLY

- NPWS shall ensure that any new uses selected for the existing buildings shall adopt the principle of 'loose fit', where the new use is adjusted as necessary to work within the available spatial and architectural configurations of the buildings.
- Adaption of a building's interior shall ensure that the original fabric or significant architectural and spatial features are retained to the greatest extent possible.
- The design of any approved internal alterations and additions should be minimal in extent and compatible with the scale, integrity and character of the individual building.
- In general external additions to existing buildings are discouraged.

- If required in order to meet approved interpretation, re-use or cultural tourism programme requirements, any new additions or alterations shall be of a minor nature, subservient to the primary, or evolved, architectural features and composition of the existing building and located in areas which are relatively removed from the main circulation or public spaces within the complex.
- Alterations and additions shall be completed in such a manner that if they were to be removed in the future, the essential form and integrity of the earlier structure would be unimpaired or easily retrieved.
- NPWS shall consider alternative approaches to the resolution of functional, safety, BCA or health requirements to minimise any adverse impacts upon significant fabric or features.
- Redundant but significant equipment is to be retained on site, preferably in its existing location, or in a new location as determined by the specific interpretation plan.
- The introduction of new services and associated fittings as part of approved re-use programmes, shall be carried out with the minimum of disruption to the building's fabric and appreciation.
- Newly installed or upgraded external plant, equipment and services shall not unnecessarily disrupt the general architectural characteristics of the building. Window mounted air-conditioners are not permitted.
- Services shall be concealed wherever possible. Existing or old service chases or conduits should be re-used in preference to new chases. Services should be rationalised, grouped and treated to minimise intrusion.
- Minor alterations, such as the repair or replacement of detailing, shall replicate the historic fabric of the building. Larger scale alterations and additions, which should still be kept to a minimum, shall while being compatible in scale and architectural character, avoid literal imitation which might mislead the observer that they are original fabric, thereby distorting the historical appreciation of the building or the overall complex.

Note: Sections 5.1 to 5.10 were drafted by Graham Brooks and Associates May 2004 and January 1999.

5.11 POLICY RELATING TO GRADED SIGNIFICANCE

- With reference to this supplement, Section 2.5 "Grading Elements for significance", the following policies shall guide preservation, maintenance, reconstruction and adaptive works or other processes contributing to the conservation of the Sugarloaf Point Lighthouse cultural significance.

Grade - Exceptional

Policy

- Fabric, features and associated artefacts of exceptional significance shall be conserved through retention and interpretation.
- Original masonry and rendered construction shall not be chased or drilled, evidence of earlier fixings or anchor points relating to the operation of the lightstation (for example, TV antennae, timber lattice or suspended PVC stormwater pipes) shall not be filled or patched unless failure to do so will result in deterioration of existing fabric. Missing or deteriorated timber rawl plugs to be replaced.
- Metal features to be conserved and protected.
- Intrusive elements not specifically related to the evolution, operation and development of the lightstation are to be removed if doing so will enhance the interpretation of the significance.
- New additions shall not be permitted. Alterations, changes to roof details or roof forms, changes to the volume of the building are not acceptable. Limited or minor reconstruction is acceptable if there has been a minor loss of integrity.
- The Lighthouse Tower (functioning) and the Signal House/Flag locker building are not suited to new uses. Internal walls and fixtures are not to be removed.
- The equipment, fittings and technology related to the navigational light, flagstaff and other navigational and safety operations are to be protected and conserved.
- The unifying external colour schemes, predominantly utilising white for painted walls of the tower, cottages, support building and fences is to be retained. Surfaces that are historically not painted are to remain unpainted.
- Those rooms, corridors and open verandah that define the original planning and spatial characteristics of the residential quarters are to be conserved and where appropriate, interpretatively enhanced. Avoid non-reversible subdivision of these spaces (eg. existing Headkeeper's Bathroom / Wardrobe arrangement).

Grade – High

Policy

- Fabric, features and associated artefacts of high significance shall be conserved through retention and interpretation.
- Protect the curtilage of the lightstation, including views to and from the precinct.
- Preserve the relationship between the residential quarters, the (former) kitchen buildings and privies. Maintain the line and heights of fences defining the yard areas associated with each residence.

- Original masonry and rendered construction shall not be chased or drilled, evidence of earlier fixings or anchor prints relating to the operation of the lightstation (for example, TV antennae, timber lattice or suspended PVC stormwater pipes shall not be filled or patches unless failure to do so will result in deterioration of existing fabric. Missing or deteriorated timber rawl plugs to be replaced.
- Metal features to be conserved and protected.
- Intrusive elements not specifically related to the evolution, operation and development of the lightstation are to be removed if doing so will enhance the interpretation of the significance.
- Retain, conserve and protect the interior fabric, including fire places, skirtings, architraves, built-in joinery, floor boards, thresholds and original window joinery.
- Adaption of items of high significance is acceptable if the change of use is compatible to the spatial characteristics of the place and its historic uses, can be achieved without loss of significant fabric and does not degrade the overall significance of the building or complex.
- Where works relating to an approved adaptive reuse of a space or building of high significance, require non-original infill material to be removed from the building fabric (eg. reinstating an original window), the impact on the interpretation of the original building or its subsequent history of modifications is to be assessed prior to approving the works. The earlier motivation for the infill or alterations, the quality of that work and the potential conservation benefits are to be considered. Should the works proceed, they shall be implemented without damaging adjacent fabric, using materials techniques and details consistent with the original work and with remaining adjacent fabric.

Grade – Moderate

Policy

- Fabric, features and associated artefacts of moderate significance shall be conserved through careful management and interpretation.
- Preserve and protect the character and form of the buildings, spaces or precincts identified as having moderate significance. Any new works or modification are to be minor and shall allow for the ongoing interpretation of the role of each element in the context of the lightstation and its evolution over time.
- A change of use is acceptable if it is compatible with the spatial characteristics and historic uses of the place, can be achieved without loss of significant fabric and does not degrade the overall significance of the building or complex.

- Retain any internal evidence found of previous fireplace or kitchen uses in the current laundry/storerooms. Retain the steps and stone flagging of the covered links to the laundry/storerooms. (Note that the covered link has been identified as an item of high significance).

Grade – Low

Policy

- Fabric, features and associated artefacts of low significance shall be photographed, described and recorded if subject to proposals for substantial modification.
- Any proposed upgrades of bathrooms, kitchen or laundries shall be carefully managed to conserve the original significance of the spaces and allow for the ongoing interpretation of the role of each space or element in the context of the lightstation and its evolution over time.
- A change of use is acceptable if it is compatible with spatial characteristics and historic uses of the place, can be achieved without loss of significant fabric that may be found associated with feature identified as having low significance and does not degrade the overall significance of the building or complex.
- Individual items of low significance shall be maintained, preserved and protected where they contribute to the significance, interpretation and overall character of the place.

Grade – Little

Policy

- For elements identified as having little significance, photograph and describe these elements prior to any modifications. Revise and update records for the site (Inventory, measured drawings, photographic record).
- For artwork and embellishments that are on plywood infill panels (eg. over windows), remove without damaging the artwork or the fabric of the building and return to the artist. For other in situ works, measure and photograph prior to removing or covering over when required for conservation works or works related to approved new uses.

Grade – Intrusive

Policy

- For elements identified as intrusive, remove and/or replace progressively and in conjunction with other works, new uses and maintenance programmes.

5.12 EXCAVATIONS AND ARCHAEOLOGY

Maintenance, new uses minor works and services upgrades may require excavation to be carried out within lightstation precinct. The following policies will guide the archaeological management associated with excavations.

Refer to Annexure A – exerts CMP'94 item 3.3.20 *"It contains sites of archaeological potential to provide new information about the physical history and occupation of the place"*. Also note Figure 3.7 Ranked zones of Significance for Archaeology.

Also note the references to Memorials on the site.

The lighthouse tower is of considerable industrial archaeological significance.

Generally "significant fabric" includes

"the subsurface remains (if any) of Former buildings and site features introduced to the place prior to 1994".

and

"the occupational deposits (archaeology) beneath and around the existing and former buildings and features."

If an area of known or reasonable potential is likely to be subject to disturbance or concealment by maintenance or building works then arrange for a responsible, suitably qualified person to be present on site to:

- Inform the contractors of the site's significance.
- Direct the contractor to the exact location for the works.
- Monitor the excavation, record the process of excavation (materials, depths, widths, speed etc), adequately record and in some circumstances collect artefacts. Recording is to include sketch plans and sections, colour print photography with graduated measuring stick and north point indicated in each photograph written report, artefacts catalogued (if found).
- If the excavation reveals unexpected archaeological features of considerable significance the excavation is to cease and be protected. Further assessment by an Archaeologist is required to determine the appropriate method to complete the excavation and record the findings.

With reference to figure 3.7 and those areas identified as having moderate archaeological significance the following shall be adopted:

Zone 3

- An excavation permit is considered a requirement for trenches or holes deeper than 200mm.
- The responsible person shall be an Archaeologist engaged directly by NPWS (not the Contractor).
- Archaeological monitoring shall be required.

Zones 5 and 6

- A permit is not considered to be a requirement.
- The responsible person shall be a NPWS staff member.
- A brief report is required covering, date, time, weather, purpose, method, location and outcome.

- If artefacts or building remains are revealed the advice of an Archaeologist is to be obtained and if relevant an assessment undertaken.

These guidelines do not apply to aboriginal places or items covered by existing legislation. Generally the precinct is considered significantly disturbed by the original construction and 130 years of occupation.

5.13 ESSENTIAL AND CYCLIC MAINTENANCE

- NPWS shall implement as soon as possible, a rigorous, appropriate and long term maintenance programme at each site, once the initial catch-up works have been completed.
- The primary objectives of the maintenance regime should be to retain the existing condition of the building fabric and site infrastructure, retard deterioration in the face of the harsh maritime environment and avoid the need for extensive capital repairs in the long term.
- Planning for cyclic maintenance shall consider a suitable action and repeat frequency appropriate to the likely environmental impact on each element of the built fabric, its existing condition and potential for deterioration.
- Current maintenance activities should be continued until they are replaced by full and comprehensive programmes.
- Maintenance activities should generally replace like with like or ensure that the item is cleaned and maintained in its original condition.
- It is essential that maintenance work does involve a slow process of degradation or irreversible change or replacement with non matching materials.
- Maintenance inspections and activities should be the responsibility of the relevant NPWS Area Office.
- Inspection and maintenance should only be conducted by those with professional knowledge and experience of buildings and materials.
- Cyclical maintenance inspections shall also monitor the impact on significant fabric of general building conservation programmes and cultural tourism activities.

Items for maintenance are to be identified for inspection and/or action each month, quarter or half year, etc. as appropriate and scheduled by a formal maintenance plan. The following outline is included as an example:

Every year

- Roofing, gutters and downpipes
- Stormwater disposal systems around the buildings and site generally
- Window glazing
- Door and window hardware
- Locks and security systems
- Communication systems

- Services installations, particularly, lighting,
- Electrical and fire fighting
- Fences and gates
- External metalwork, fixings and fittings
- Internal metalwork, fixtures and fittings
- Built in furniture and fittings
- Security and safety signage
- Vegetation that may cause deterioration of the building fabric

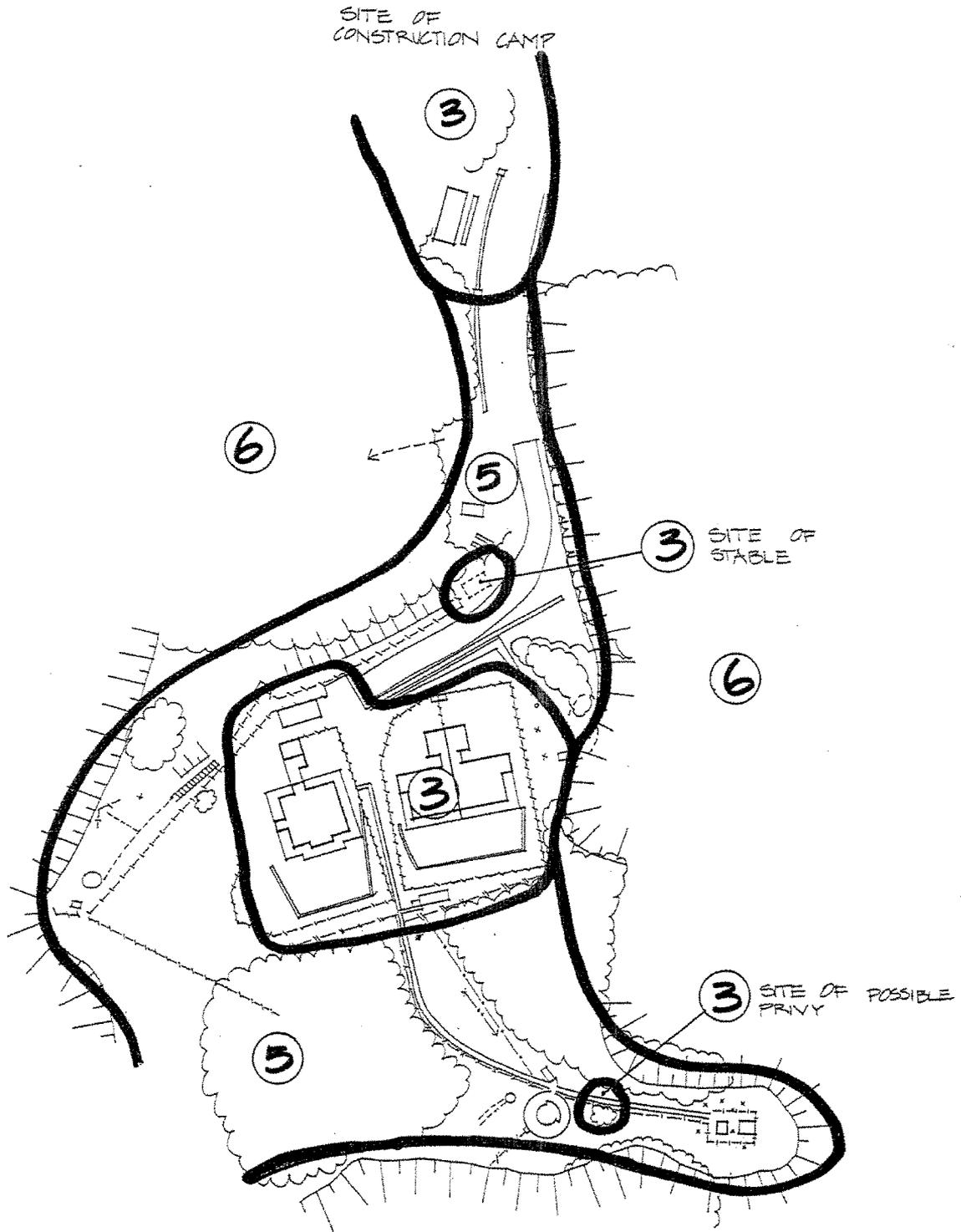
Every three years

- External timber detailing and joinery
- Water supply infrastructure including underground tanks
- Plumbing systems, particularly waste disposal systems
- Paths and driveways
- Pest control
- Potential for rising damp

Every five years

- External painting in a coating and materials system appropriate to the substrate and its condition.

(Section 5.13 was drafted as Section 17.14 from the CM & CT plan prepared by Graham Brooks and Associates, January 1999. It has been subject to minor changes).



LEGEND
 5 = Ranked significance 1-7 High to low
 — = Boundary of zone



Figure 3.7
Sugarloaf Point Lightstation
 Ranked Zones of Significance
 Archaeology
 Lighthouse Precinct